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ARTIST RENDERING. ACTUAL DESIGN IS SUBJECT TO CHANGE.

JOHN & MARY ANNE THRASHER

203 QUAY COURT

SUNSET, SOUTH CAROLINA

SPECIFICATIONS

- ALL CONSTRUCTION, LABOR, MATERIALS, AND WORK IS TO CONFORM & COMPLY WITH ALL RULES, REGULATIONS, CODES, AND ORDINANCES OF FEDERAL, STATE, COUNTY, AND LEGAL AUTHORITIES HAVING JURISDICTION OF THE WORK.
- CONTRACTOR SHALL INSPECT SITE, EXISTING GRADES AND UTILITIES, AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. NOTIFY THE ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF OTHER TRADES WITH HIS WORK.

USE ONLY DRAWINGS LABELED ISSUED FOR CONSTRUCTION XXXX/2019. ALL PREVIOUS SETS ARE VOID AND SHOULD NOT BE USED FOR CONSTRUCTION. DO NOT DISTRIBUTE PARTIAL SETS. IT IS THE RESPONSIBILITY OF CONTRACTOR TO VERIFY ALL SUBCONTRACTORS' WORK IS COORDINATED WITH OTHER TRADES.
- FORM OF AGREEMENT SHALL BE PROVIDED BY THE CONTRACTOR AND AGREED TO BY THE OWNER BASED ON A COST PLUS AGREEMENT BASED ON THE ACTUAL COST OF THE WORK BEFORE PROCEEDING WITH ANY PORTION OF THE WORK. CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR ALL WORK AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN, PLUS ANY PERMITS, TEMPORARY FACILITIES AND UTILITIES NECESSARY TO PERFORM THE WORK. CONTRACTOR SHALL PROVIDE AN ITEMIZED BREAKDOWN SHOWING COST OF ALL MAJOR TRADES (I.E. CONCRETE, MASONRY, FRAMING, HVAC, PLUMBING, DOORS, WINDOWS, CABINETRY, FINISHES, ETC.).
- ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR AFTER COMPLETION OF THE PROJECT BY RESPECTIVE CONTRACTORS. GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THE GUARANTEE.
- ALL WORKMANSHIP SHALL BE FIRST-CLASS BY SKILLED WORKERS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE OR DIRECTED BY THE OWNER.
- DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS. LARGE-SCALE DETAILS AND DRAWINGS TAKE PRECEDENCE OVER SMALLER-SCALE DRAWINGS. IF QUESTIONS OR DISCREPANCIES EXIST, CONTACT THE ARCHITECT IMMEDIATELY.
- ALL FOOTINGS SHALL BEAR ON VIRGIN UNDISTURBED SOIL WITH A MINIMUM BEARING PRESSURE OF 2,000 P.S.F. BOTTOM OF FOOTING SHALL BE 2'-0" MIN. BELOW EXISTING GRADE AND 1'-6" BELOW EXCAVATED FINISHED GRADE.
- FOOTINGS ON COMPACTED FILL SHALL CONFORM TO 98% STANDARD PROCTOR DENSITY.
- SUBGRADE FOR CONCRETE SLABS SHALL BE COMPACTED TO 98% AS PER ASTM-698.
- DOUBLE ALL JOISTS, HEADERS, AND TRIMMERS AROUND ALL OPENINGS AND UNDER ALL PARTITIONS. USE SIMPSON OR EQUAL HANGERS AND CONNECTORS.
- ALL WORK SHALL BE PLUMB, LEVEL, AND TRUE. WINDOWS SHALL BE SET IN PLACE PLUMB AND SQUARE TO PREVENT RACKING. ALL GLASS IN FRENCH DOORS, SIDELITES, SHOWER DOORS, STAIRWELLS, AND OTHER AREAS AS REQUIRED BY CODE SHALL BE TEMPERED SAFETY GLASS.
- ALL INTERIOR AND EXTERIOR FINISHES (STAINED AND PAINTED COLORS) TO BE SELECTED BY OWNER.
- ALL EXTERIOR TRIM, MOLDINGS, CASINGS, AND SIDING TO BE PRE-PRIMED 6 SIDES PRIOR TO INSTALLATION.
- PROVIDE ALLOWANCE FOR PLUMBING FIXTURES & FITTINGS. ALL TOILETS SHALL BE "COMFORT HEIGHT" - 17.5" SEAT HEIGHT AFF. ALL COUNTERTOP HEIGHTS TO BE AS SHOWN ON DRAWINGS. PROVIDE ONE EXTERIOR HOSE BIBB, MINIMUM, ON EACH EXTERIOR WALL ELEVATION, UNO.
- CONTRACTOR SHALL PROVIDE 400 AMP SERVICE AND ALL ELECTRICAL REQUIREMENTS, INCLUDING WIRING OUTLETS & SWITCHES PER CODE. FIXTURES AND OTHER RELATED ITEMS WILL BE SELECTED WITHIN ALLOWANCE. COORDINATE WITH ELECTRICAL CONTRACTOR.
- PROVIDE ALLOWANCES FOR OWNER-SELECTED FIXTURES, FINISHES, AND ACCESSORIES NOT SPECIFIED. ALLOWANCES ARE FOR MATERIAL COST ONLY. DELIVERY, INSTALLATION, AND HANDLING SHALL BE PART OF THE ACTUAL COST OF THE WORK.
- FINAL CLEANING SHALL BE EXECUTED PRIOR TO FINAL INSPECTION. CLEAN ALL INTERIOR AND EXTERIOR SURFACES, SITE DEBRIS, AND DRAINAGE SYSTEMS. REPLACE ALL FILTERS AND REMOVE CONSTRUCTION FACILITIES FROM SITE.

DESIGN/BUILD TEAM

OWNERS:
JOHN & MARY ANNE THRASHER
5816 PIONEERS COURT
COLUMBUS, OH 43085

GENERAL CONTRACTOR:
SEXTON GRIFFITH BUILDERS
135 KICAWA LANE
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SQUARE FOOTAGE

CONDITIONED MAIN LEVEL:	2,470 SF
CONDITIONED LOFT LEVEL:	822 SF
TOTAL CONDITIONED:	3,292 SF
GARAGE:	784 SF
COVERED PORCHES:	84 SF
SCREEN PORCH:	358 SF
DECK:	342 SF
TOTAL GROSS SF:	4,860 SF

DRAWING LEGEND

- 825.00' MATERIAL ELEVATION MARK & MATERIAL
- NOTE TAG FOR DRAWING
- INTERIOR ELEVATION TAG
- SECTION OR DETAIL CUT
- ELEVATION OR SECTION DETAIL
- WINDOW OR EXTERIOR DOOR TAG & CENTERLINE
- ROOM NAME
- ROOM TITLE & FINISH SCHEDULE
- SPECIAL WALL TAG

DRAWING INDEX

- T1 TITLE SHEET & SPECIFICATIONS
- A1 TREE REMOVAL PLAN
- A2 SITE PLAN
- A2.1 FOUNDATION PLAN
- A2.2 MAIN LEVEL FLOOR PLAN
- A2.3 LOFT LEVEL FLOOR PLAN
- A2.4 ROOF PLAN
- A4.1 BUILDING ELEVATIONS
- A4.2 BUILDING ELEVATIONS
- AB.1 BUILDING SECTIONS (not issued)
- A1.1 TYP. WALL SECTION

NOTE: THESE DRAWINGS HAVE BEEN PREPARED UNDER A LIMITED SERVICE AGREEMENT AND ARE INTENDED TO REPRESENT DESIGN INTENT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING STRUCTURAL DESIGN AND COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

ISSUED FOR ARC REVIEW, NOT FOR CONST.: 05/28/19

PROJECT: 1916
DATE: 28 MAY 2019
DRAWN: FB
REVISIONS:

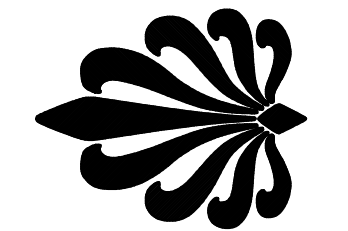
SHEET
T1.1
TITLE SHEET & SPECS

A NEW RESIDENCE FOR

JOHN & MARY ANNE THRASHER

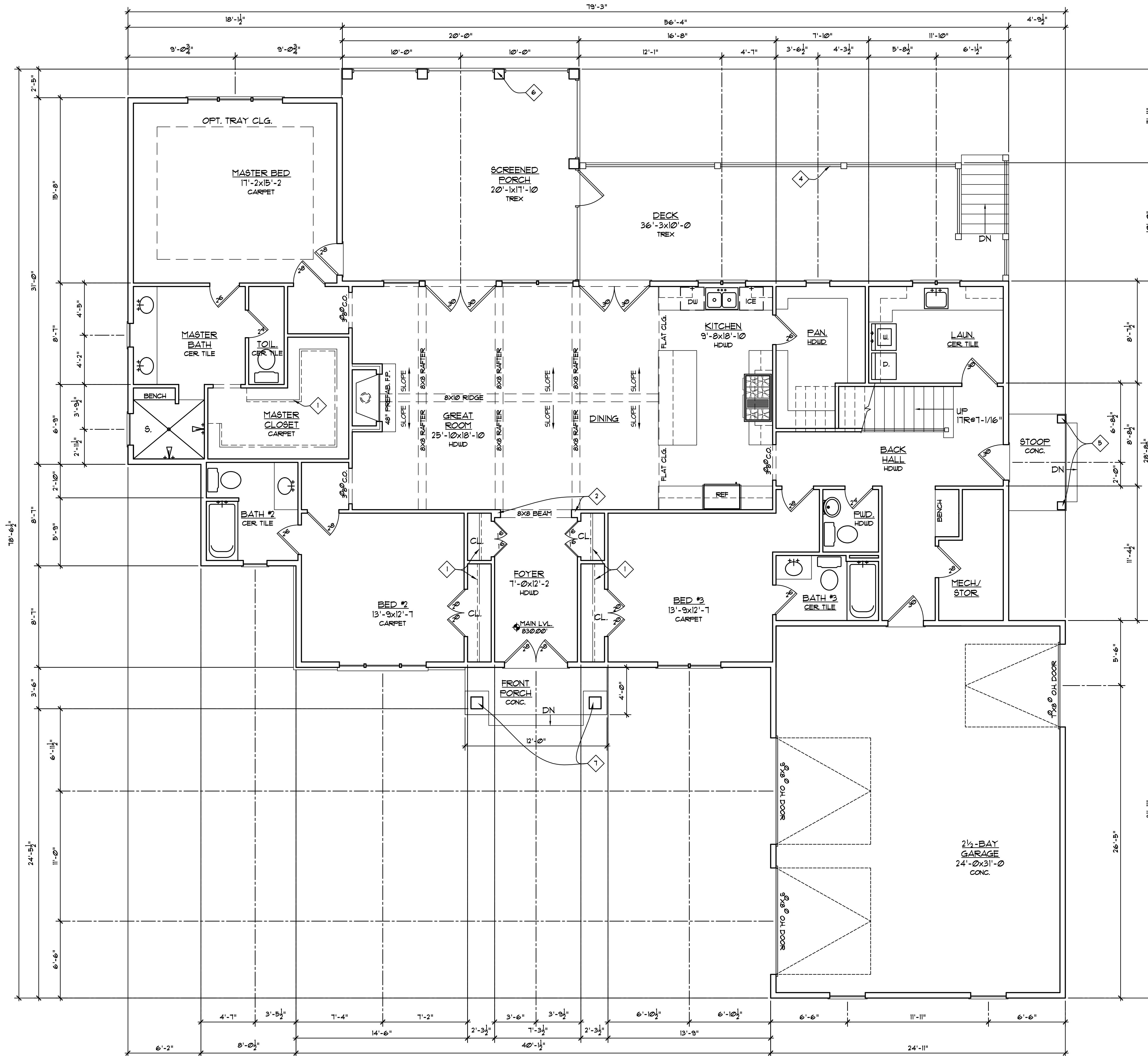
203 QUAY COURT

SUNSET, SOUTH CAROLINA



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MAIN LEVEL FLOOR PLAN

2,470 SF

SCALE: 1/4" = 1'-0"

NOTES TO DRAWING

- ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF MASONRY, UNO. ALL WINDOW & EXT. DOOR DIMENSIONS ARE TO CENTERLINE.
- ALL EXT. WALLS ON MAIN LEVEL ARE 2X6 WD STUDS @ 16" O.C., UNO. INT. WALLS ARE 2X4 WD STUDS @ 16" O.C., UNO.
- ALL EXT. DOORS TO HAVE SLIDING SCREEN PANEL W/ SEPARATE STORM PANEL INSERT, UNO.
- ALL DOOR & WINDOW HEAD HGTS ARE 8'-0" AFF. UNO.
- PROVIDE SOLID WOOD BLOCKING BTUN ALL 2X MEMBERS @ BATHS, COORDINATE W/ OWNER FOR BATH ACCESSORY & HANDRAIL LOCATIONS.
- ALL CLOSET FINISHES TO MATCH ADJOINING ROOMS.
- ALL POCKET DOORS TO BE FRAMED IN 2X6 WALLS.
- PROVIDE EXT. FROSTPROOF HOSE BIBBS ON SOUTH & WEST ELEVATIONS.
- CONTRACTOR SHALL PROVIDE SEAMING PLAN FOR ANY CARPET AREAS AND FOR ANY STONE COUNTERTOPS.

1. CLOSET ORGANIZER, TYP.
2. 8X8 COLUMN
3. NOT USED
4. FORTRESS' IRON RAILING
5. 8X8 TIMBER COLUMN
6. 10X10 TIMBER COLUMN, TYP. @ SCREENED PORCH
7. 12X12 TIMBER COLUMN ON BATTERED STONE PIER, RE: ELEV6

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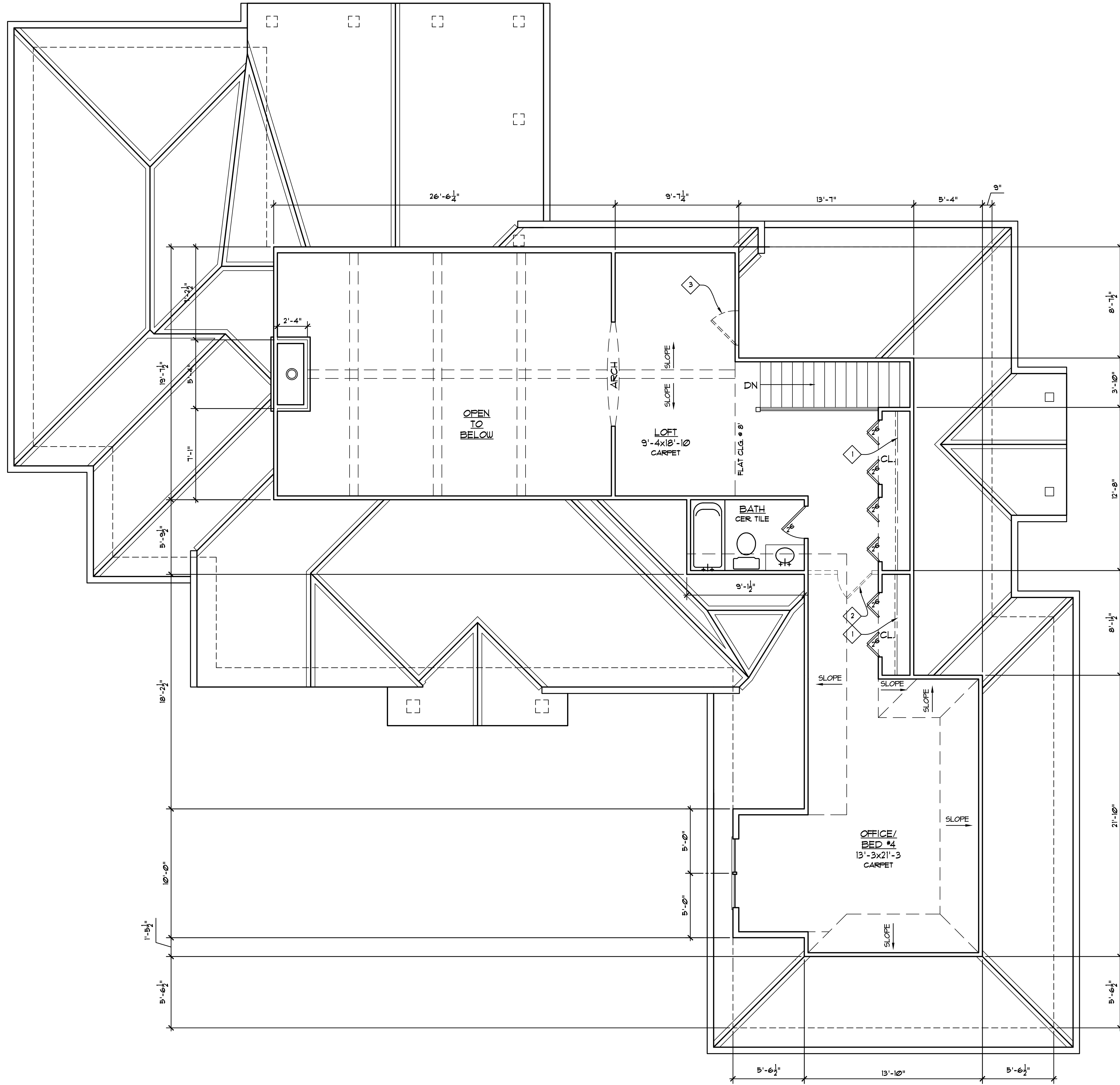
PROJECT: 1916
 DATE: 28 MAY 2019
 DRAWN: TJB
 REVISIONS:

SHEET A2.2
 MAIN LEVEL PLAN

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1

LOFT LEVEL FLOOR PLAN

822 SF

SCALE: 1/4" = 1'-0"

NOTES TO DRAWING

- ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF MASONRY, UNO. ALL WINDOW & EXT. DOOR DIMENSIONS ARE TO CENTERLINE
 - ALL EXT. WALLS ARE 2X6 WD STUDS @ 16" O.C., UNO. INT. WALLS ARE 2X4 WD STUDS @ 16" O.C., UNO.
 - ALL DOOR & WINDOW HEAD HGTS ARE 6'-8" AFF, UNO.
 - PROVIDE SOLID WOOD BLOCKING BTWN ALL 2X MEMBERS @ BATHS. COORDINATE W/ OWNER FOR BATH ACCESSORY & HANDRAIL LOCATIONS.
 - ALL CLOSET FINISHES TO MATCH ADJOINING ROOMS.
 - ALL POCKET DOORS TO BE FRAMED IN 2X6 WALLS.
 - CONTRACTOR SHALL PROVIDE SEAMING PLAN FOR ANY CARPET AREAS AND FOR ANY STONE COUNTERTOPS.
- CLOSET ORGANIZER, TYP.
 - OPTIONAL BEDROOM DOOR
 - ATTIC ACCESS, V.I.F.

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 DRAWN: T.H.B.
 REVISIONS:

SHEET
A2.3
 LOFT LEVEL PLAN

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